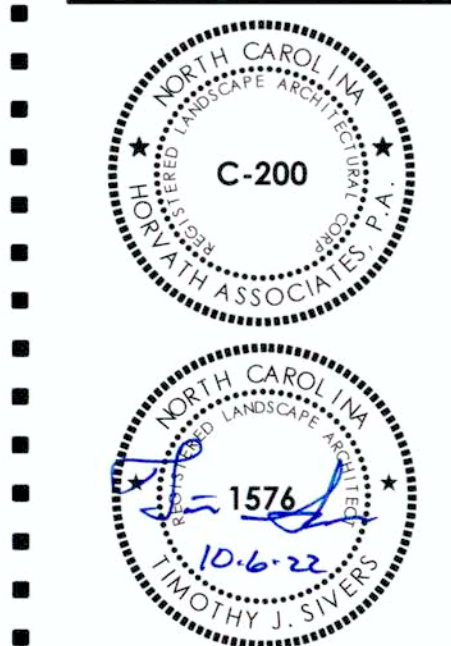




**HORVATH ASSOCIATES**  
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE  
LAND PLANNING STORMWATER MANAGEMENT  
16 CONSULTANT PLACE, SUITE 201  
DURHAM, NORTH CAROLINA 27707  
P 919.490.4990 F 919.490.8953  
NORTH CAROLINA BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LICENSE NO.: C-0676  
www.horvathassociates.com

**BRICK MILL ESTATES**  
765 BRICK MILL ROAD  
HARNETT COUNTY  
COATS, NORTH CAROLINA

**SITE PLAN**

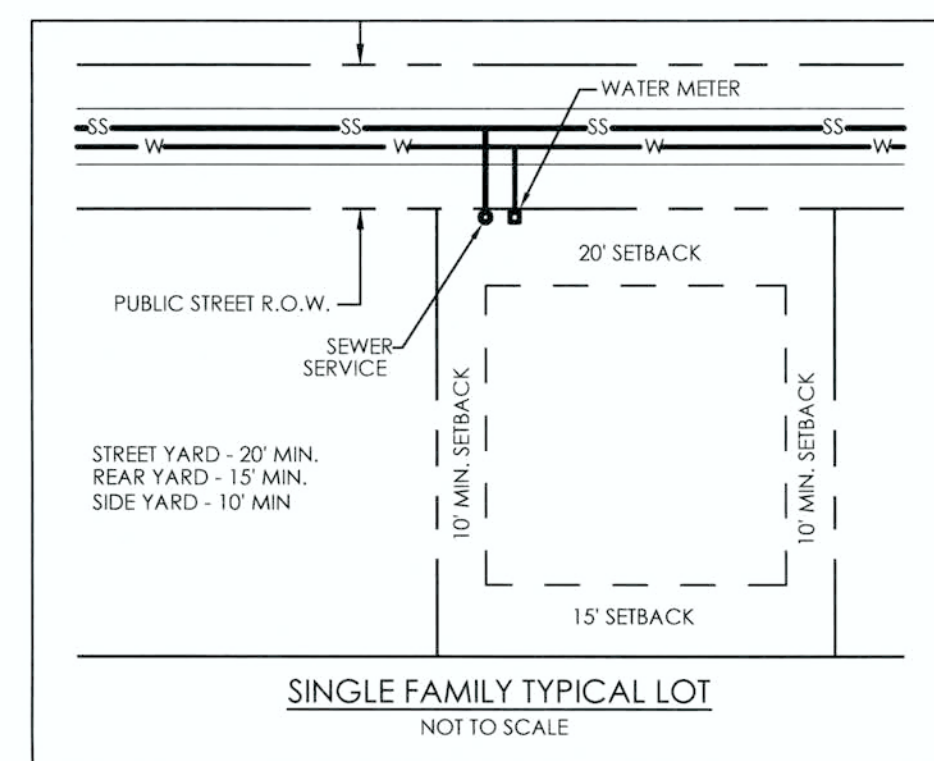


SEE SHEET C101

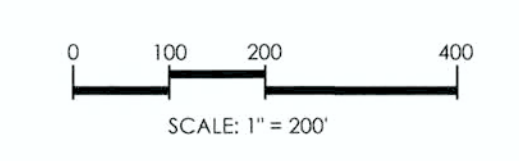
SEE SHEET C102

**GENERAL SITE NOTES**

- BUILDING AND ROADWAY STAKE OUT TO BE PERFORMED BY A REGISTERED LAND SURVEYOR. NOTIFY THE ENGINEER OF ANY DISCREPANCY.
- ALL PARKING LOT DIMENSIONS ARE TO BACK OF CURB AND FACE OF SIDEWALK, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL ON SITE PERIMETER CURB & GUTTER SHALL BE 30" UNLESS OTHERWISE NOTED.
- CURB & GUTTER TO SLOPE (NEGATIVE OR POSITIVE) SAME AS PAVEMENT EDGE. PONDING OF WATER IN THE GUTTER IS PROHIBITED.
- ALL CURB & GUTTER RADI SHALL BE 3' (TO BC) UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ARE 5' WIDE WITH EXPANSION JOINTS @ 30' OC UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- THE ESTABLISHMENT OF FIRE LANES, IN ACCORDANCE WITH SECTION 503.3 OF THE 2012 NC FIRE CODE, MAY BE REQUIRED WHERE IT BECOMES APPARENT AFTER OCCUPANCY OF THE DEVELOPMENT THAT PARKING WITHIN ROADWAYS CREATES DIFFICULTIES FOR THE PASSAGE OF FIRE EQUIPMENT.
- CONTRACTOR TO VERIFY THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. AN ANALYSIS AND CERTIFICATION OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNER, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODE PRIOR TO CO ISSUANCE.
- MULCH WALKING TRAILS WITHIN TREE SAVE AREAS SHALL BE CONSTRUCTED WITH MINIMAL DISTURBANCE OF TREE ROOTS AND EXISTING VEGETATION. ADJUST TRAIL AS NEEDED IN THE FIELD TO MINIMIZE TREE REMOVAL. NO TREE OVER 8 INCH DBH OR GREATER SHALL BE REMOVED FOR THE CONSTRUCTION OF THE TRAIL.
- THE PROPER PROCEDURE FOR COMPACTED SOIL REMEDIATION IS AS FOLLOWS.
  - REMOVE ALL IMPERVIOUS SURFACES FROM THE SUBJECT AREA.
  - TILL THE AREA TO A DEPTH OF 12" BELOW THE TOP OF COMPACTED SUBGRADE.
  - SUITABLE RATES AND TYPES OF SOIL AMENDMENTS SHOULD BE DETERMINED THROUGH SOIL TESTS. LIMESTONE AND FERTILIZER SHOULD BE APPLIED UNIFORMLY DURING SEEDBED PREPARATION AND MIXED WELL WITH THE TOP 4 TO 6 INCHES OF SOIL.
- SANITARY SEWER CLEANOUTS IN DRIVEWAYS SHALL BE TRAFFIC BEARING CLEANOUTS AND LOCATED 18-INCHES FROM THE EDGE OF DRIVEWAY AS MEASURED TO THE CENTER OF THE CLEANOUT.
- HORIZONTAL AND VERTICAL STREET DESIGN CONFORMS TO THE STANDARDS SET FORTH IN 'A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS' AS PUBLISHED BY AASHTO.
- LIGHTING IS SCHEMATIC AND FINAL DESIGN TO BE PROVIDED BY UTILITY PROVIDER



**1 SITE PLAN**  
SCALE: 1"=200'



**LEGEND (PROPOSED CONDITIONS)**

- LD LIMITS OF DISTURBANCE
- TFP TREE PROTECTION FENCE/LIMITS OF DISTURBANCE
- OS OPEN SPACE AREA (OS)
- SCM SCM ACCESS AND MAINTENANCE EASEMENT
- WETLAND/ POND IMPACT

**DEVELOPMENT SUMMARY:**

| SITE SUMMARY   |                                 |
|--|---------------------------------|
| GROSS LAND AREA:   | 3,406,827 SF (78.21 AC)         |
| PROJECT AREA:  | 3,406,827 SF (78.21 AC)         |
| AREA OF DISTURBANCE:   | 2,661,516 SF (61.10 AC)         |
| EXISTING ZONING:   | RA                              |
| PROPOSED ZONING:   | R6-ND                           |
| EXISTING USE:  | N/A                             |
| PROPOSED USE:  | SINGLE-FAMILY RESIDENTIAL       |
| RIVER BASIN:   | CAPE FEAR                       |
| CITY LIMIT:  | COATS                           |
| LOT SUMMARY  |                                 |
| MAXIMUM BUILDING HEIGHT:   | 35'                             |
| MINIMUM LOT SIZE:  | 6,000 SF                        |
| STREET YARD SETBACK:   | 20'                             |
| SIDE SETBACK:  | 10'                             |
| REAR SETBACK:  | 15'                             |
| TOTAL LOTS:  | 156                             |
| PROPOSED DENSITY:  | 156/78.21 AC = 1.99 DU/AC       |
| PARKING SUMMARY  |                                 |
| 2 PARKING SPACES WILL BE PROVIDED AT EACH UNIT BY THE USE OF A GARAGE AND/OR DRIVEWAY. |                                 |
| MAIL KIOSK PARKING REQUIRED:   | 2 HC SPACES                     |
| TOTAL PARKING REQUIRED:  | 312 SPACES                      |
| MAIL KIOSK PARKING PROVIDED:   | 6 SPACES                        |
| GARAGE/DRIVEWAY PROVIDED:  | 312 SPACES                      |
| TOTAL PARKING PROVIDED:  | 318 SPACES                      |
| IMPERVIOUS SUMMARY   |                                 |
| TOTAL AREA:  | 3,406,827 SF (78.21 AC)         |
| EXISTING IMPERVIOUS AREA:  | 5,262 SF (0.121 AC)             |
| TOTAL PROPOSED IMPERVIOUS AREA:  | 920,700 SF (21.14 AC) (27.03%)  |
| STREETS / PARKING LOTS:  | 242,000 SF (5.56 AC) (7.11%)    |
| SIDEWALK:  | 48,300 SF (1.11 AC) (1.42%)     |
| 61' LOT IMPERVIOUS(3,700 SF PER LOT):  | 477,300 SF (10.96 AC) (14.01%)  |
| 68' LOT IMPERVIOUS(5,300 SF PER LOT):  | 143,100 SF (3.29 AC) (4.20%)    |
| OPEN SPACE RESERVE:  | 5,000 SF (0.11 AC) (0.15%)      |
| LOT RESERVE:   | 5,000 SF (0.11 AC) (0.15%)      |
| OPEN SPACE SUMMARY   |                                 |
| REQUIRED OPEN SPACE AREA:  | NONE                            |
| PROPOSED OPEN SPACE AREA:  | 1,484,510 SF (34.08 AC)(43.57%) |

|   |                    |                           |     |
|---|--------------------|---------------------------|-----|
| 1 | JUNE 20, 2022      | PER TOWN OF COATS         | NNA |
|   |                    | FIRST REVIEW              | RV  |
| 2 | AUGUST 19, 2022    | PER TOWN OF COATS         |     |
|   |                    | 2ND REVIEW/HRW 1ST REVIEW | CT  |
| 3 | SEPTEMBER 26, 2022 | PER TOWN OF COATS         |     |
|   |                    | 3RD REVIEW                | CT  |
| 4 | OCTOBER 6, 2022    | FOR APPROVAL              | NNA |

811 - CALL BEFORE YOU DIG

**DRAWN BY:** NNA **CHECKED BY:** RV

**DATE:** APRIL 14, 2022

**PROJECT NO.:** 2204

**SHEET NO.:** C100

**<SITE DEVELOPMENT>**